# MUW FANT HALL EBC Study Mississippi University for Women SCHEMATIC DESIGN

June 13, 2007 Primary Objectives



- 1. TO ATTRACT STUDENTS TO ON CAMPUS LIVING BY PROVIDING A UNIQUE AND ATTRACTIVE LIVING ALTERNATIVE SIMILAR TO, OR BETTER
- PROVIDE NEW ELEVATORS AND STAIRS THAT ARE ATTRACTIVE, CONVENIENT, AND CODE COMPLIANT.
   PROVIDE A DEFINITIVE NUMBER OF BEDS, SO THAT THE UNIVERSITY CAN DETERMINE THE FINANCIAL VIABILITY OF THE RENOVATION. 3. DEVELOP A RENOVATION STRATEGY THAT IS VIABLE FOR FANT HALL AND FOR PEYTON HALL

### **Constraints**

1. FANT HALL AND PEYTON HALL ARE MISSISSIPPI LANDMARK BUILDINGS. 2. EXISTING PARKING IS EXTREMELY LIMITED, AND PROVIDING NEW PARKING WILL REQUIRE A CREATIVE SOLUTION.

3. ACCESSIBILITY - IN ADDITION TO THE UNITS PROVIDED THAT ARE FULLY ADA ACCESSIBLE, THE INTERNATIONAL BUILDING CODE REQUIRES THAT ALL RESIDENCES ARE TYPE 'B' OR BETTER. BECAUSE OF TYPE 'B' REQUIREMENTS AROUND DOOR SWINGS, THE RESIDENCE BATHROOMS SHOULD BE A SLIGHTLY BIGGER AND THE BEDROOMS SHOULD BE A SLIGHTLY SMALLER THAN THEY ARE SHOWN IN THE SCHEMATIC DRAWINGS. THIS SMALL BUT CRUCIAL SIZE DIFFERENCE IS ILLUSTRATED ON THE CODE REVIEW PORTION OF THIS SHEET.

#### Project Team

**Architect Team:** Chris Morrow, AIA, Principal in Charge Jake Bailey, Project Manager Jose Arellano Ralph Eide P.O. Box 167 5227 S. Frontage Road Columbus, MS 39703-0167 Phone: 662-327-8990 Fax: 662-327-8991

**Mechanical Engineer:** William G. McClure, P.E. P.O. Box 167 5227 S. Frontage Road Columbus, MS 39703-0167 Phone: 662-327-8990 Fax: 662-327-8991

Electrical Engineer: William G. McClure, P.E. P.O. Box 167 5227 S. Frontage Road Columbus, MS 39703-0167 Phone: 662-327-8990 Fax: 662-327-8991

**Structural Engineer:** Bobby Jenkins, P.E. 218 South Thomas Street, Suite 209 Tupelo, MS 38803-2101 Phone: 662-840-1233 Fax: 662-840-1103

1. CONTRACTOR SHALL VERIFY AND CONFIRM ALL DIMENSIONS AND QUANTITIES, INCLUDING AREAS. PROVIDE LABOR AND MATERIALS TO ENCOMPASS THE ADDITION AND RENOVATIONS AS LISTED AND CONTAINED HEREIN. 2. ALL BUILDING MATERIALS SHOWN IN DRAWINGS SHALL BE CONSIDERED NEW UNLESS OTHERWISE NOTED.

### Rendering of Proposed Renovation

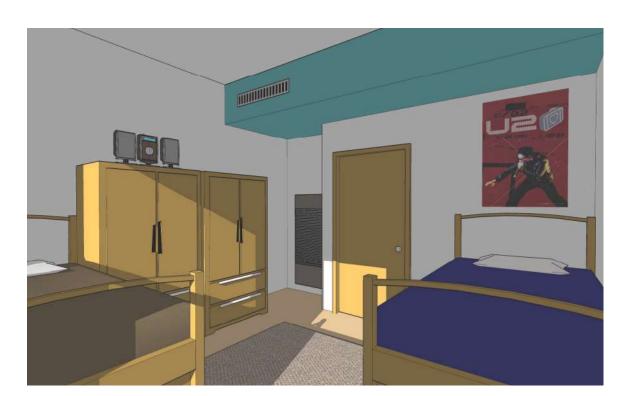












#### **Code Review**

#### **EXISTING BUILDING CHARACTERISTICTS**

#### **BUILDING AREA:**

FIRST FLOOR AREA: 14,117 SF SECOND FLOOR AREA: 13,096 SF THIRD FLOOR AREA: 13,096 SF FOURTH FLOOR AREA: 9,3Ø9 SF

BUILDING AREA: 37,618 SF

**BUILDING HEIGHT**: 52'-Ø" & 4 STORIES

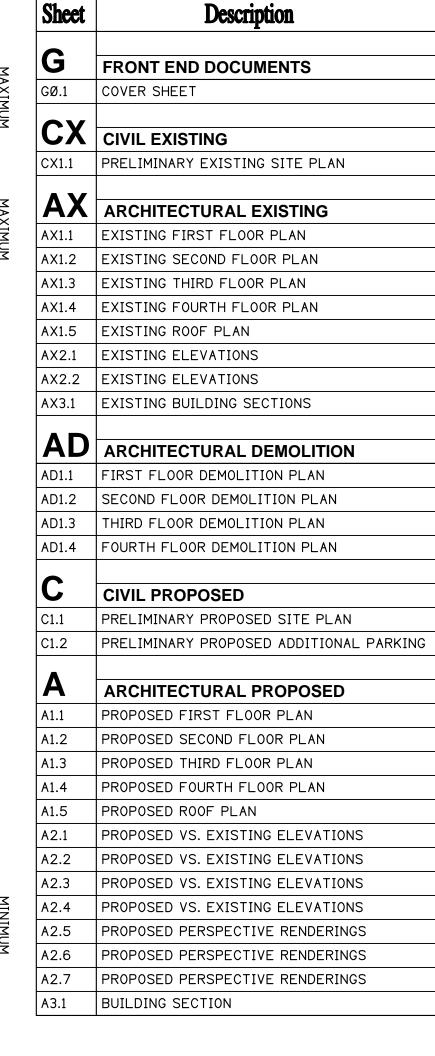
SPRINKLERING: UNSPRINKLERED

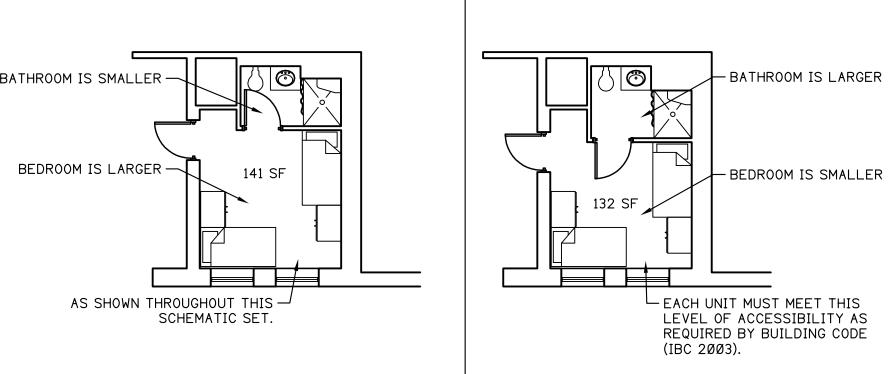
CONSTRUCTION TYPE: TYPE VA

OCCUPANCY: R-2

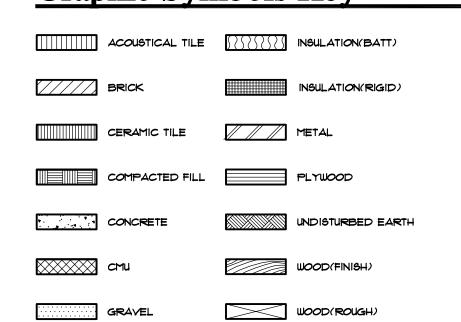
#### **Drawing Index**

PROPOSED BUILDING CHARACTERISTICTS		
	<u>PROPOSED</u>	REQUIRED OR ALLOWED
BUILDING AREA (PER TABLE 503, & SECT. 506)  FIRST FLOOR AREA: SECOND FLOOR AREA: THIRD FLOOR AREA: FOURTH FLOOR AREA:	14,866 SF 13,28Ø SF 13,28Ø SF 1Ø,162 SF	12,000 SF + INCREASES = 33,000 SF 12,000 SF + INCREASES = 33,000 SF 12,000 SF + INCREASES = 33,000 SF 12,000 SF + INCREASES = 33,000 SF
TOTAL BUILDING AREA: 51,588 SF		
BUILDING HEIGHT:	52'-Ø" & 4 STORIES	3 STORIES & 50'-0" + INCREASES = 4 STORIES & 70'-0"
CONSTRUCTION TYPE:	V-A	<u> </u>
SPRINKLERING:	SPRINKLERED	<u></u>
OCCUPANCY: (SECTION 31Ø)	R-2	<i>I</i>
CORRIDOR RATING:	Ø.5 HRS	Ø.5 HRS 플
ELEVATOR LOBBY RATING: 7Ø7.14.1	Ø HRS	Ø.5 HRS KING
OCCUPANT LOAD: (TABLE 1004.1.2)		
FIRST FLOOR OCC. LOAD: SECOND FLOOR OCC. LOAD: THIRD FLOOR OCC. LOAD: FOURTH FLOOR OCC. LOAD:		298 257 257 204
EGRESS WIDTH: SECT. 1007.3, SECT. 1008.1.1, SECT 1016.2)		
STAIRWAYS: OTHER EGRESS COMPONENTS:		44"   MINIMUM   144"
ACCESSIBILITY:		, ,
PARKING (IBC TABLE 1106.1 & ADA 4.1.2) VAN ACCESSIBLE	2	
ACCESSIBLE (INCLUDES VAN ACCESSIBLE ABOVE)	5	5
INTERIOR FULLY ACCESSIBLE BEDROOMS (UNITS) WITH ACCESS TO ROLL-IN SHOWERS	5	2 \\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\
TOTAL NUMBER OF FULLY ACCESSIBLE BEDROOMS (UNITS) WITH NO REQUIRED ACCESS TO ROLL-IN SHOWERS	2	5 * REQUIREMENTS MET BY ACCESSIBLE UNITS ABOVE
RESIDENCES REQUIRED TO HAVE AN ACCESSIBILITY LEVEL OF 'B' OR BETTER.	SEE ILLUSTRATION BELOW	ALL

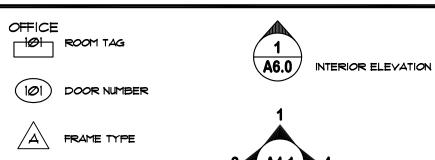




## **Graphic Symbols Key**

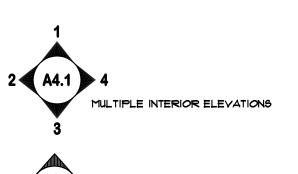


GYPSUM BOARD



A WINDOW TYPE

EQUIPMENT TYPE GENERAL NOTE

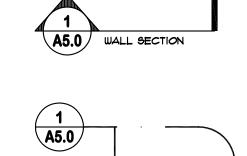


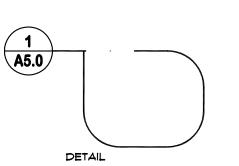
A3.0 / EXTERIOR ELEVATION

100.00' EXISTING SPOT ELEVATION

+ 100.00' NEW SPOT ELEVATION







BUILDING SECTION

**G0.1** 

**Schematic** Design

Not

for

2ØØ71Ø2

Construction

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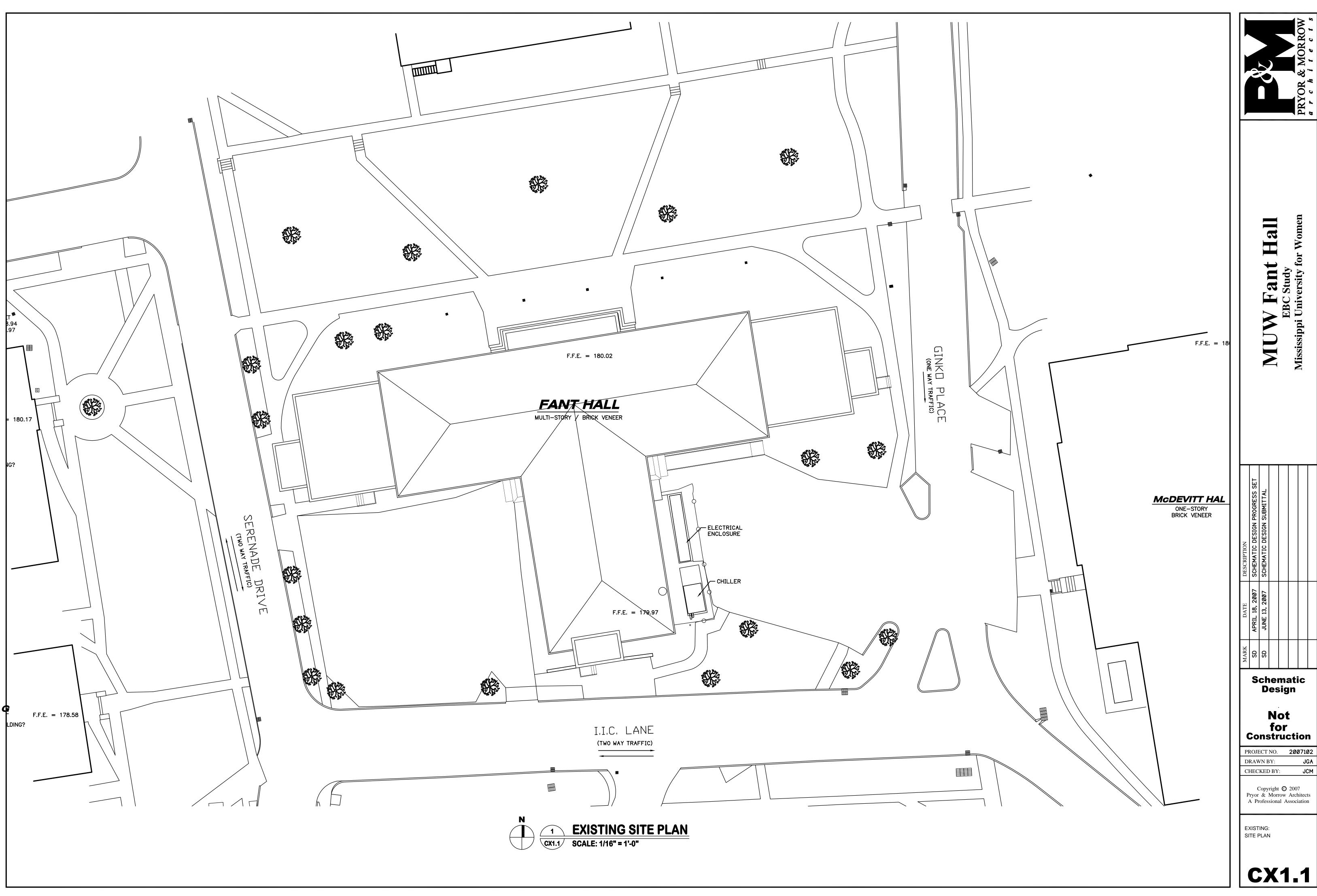
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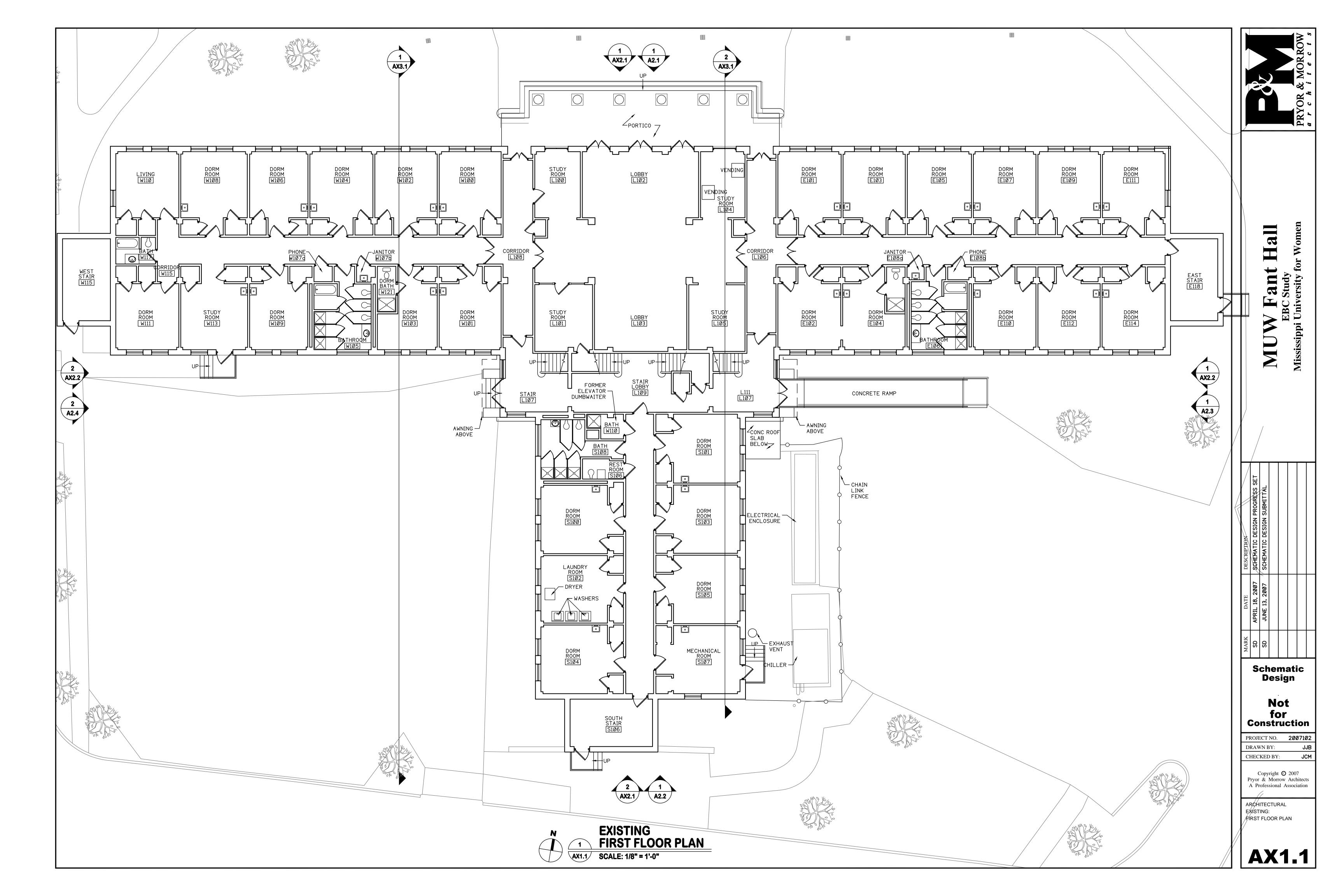
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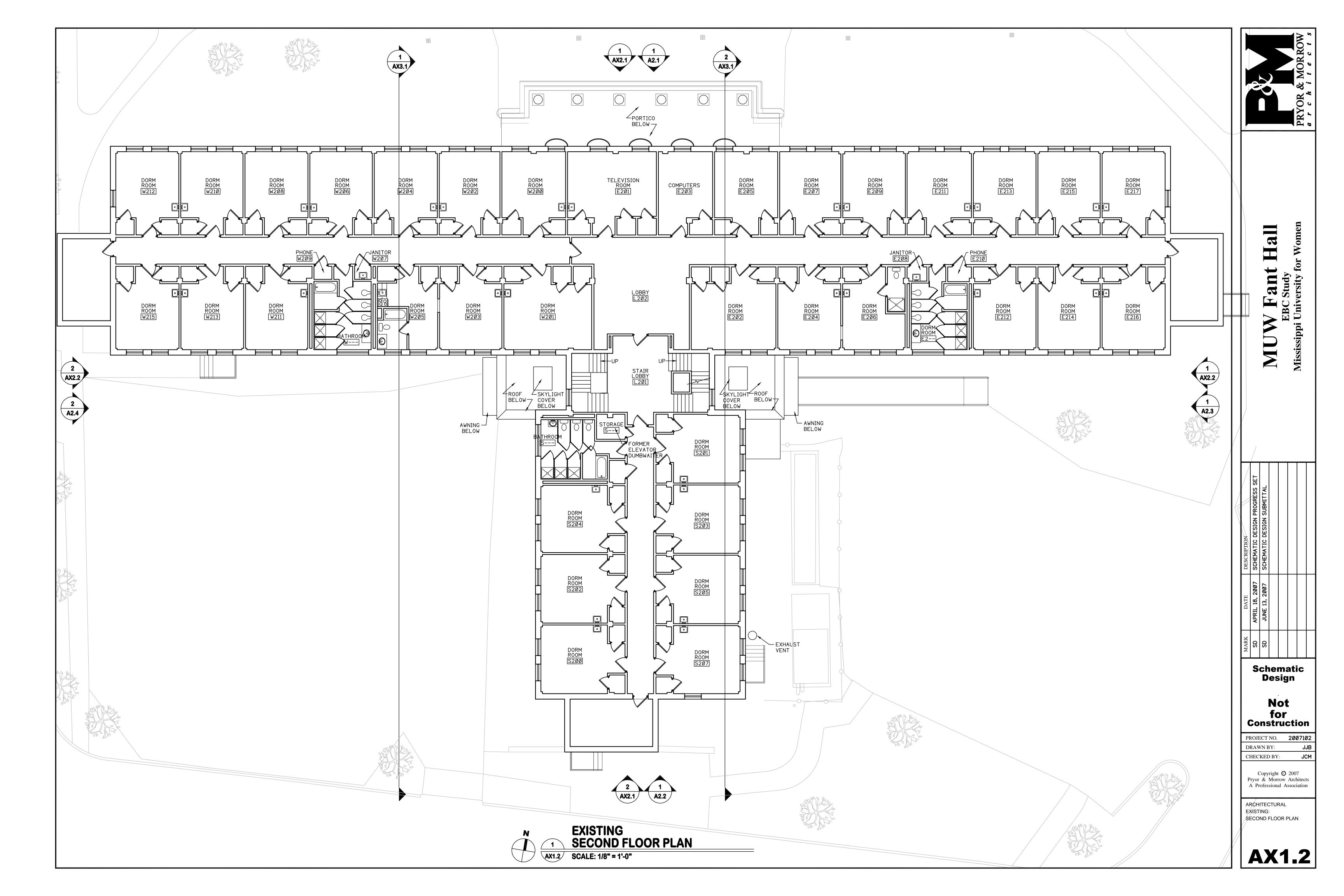
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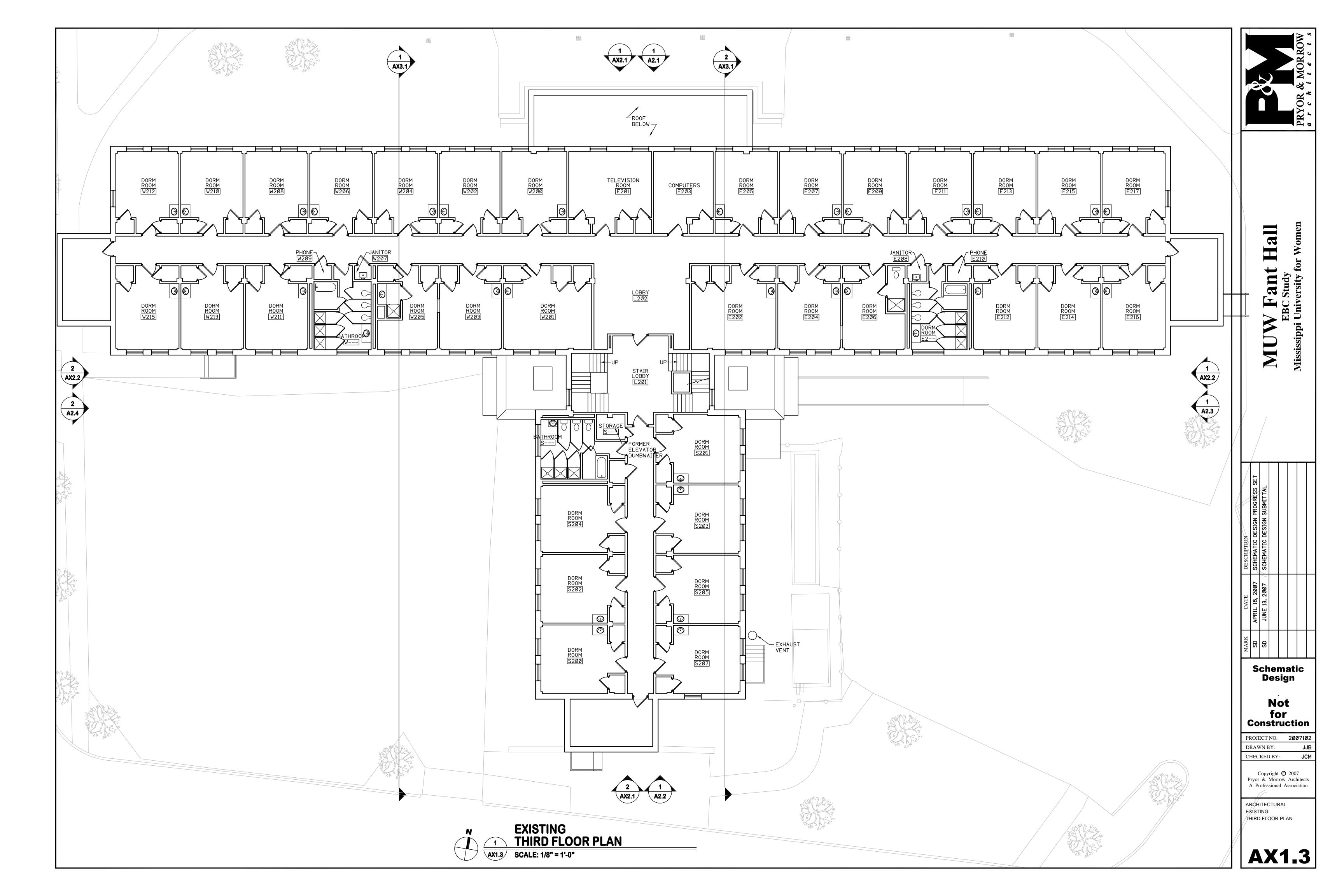
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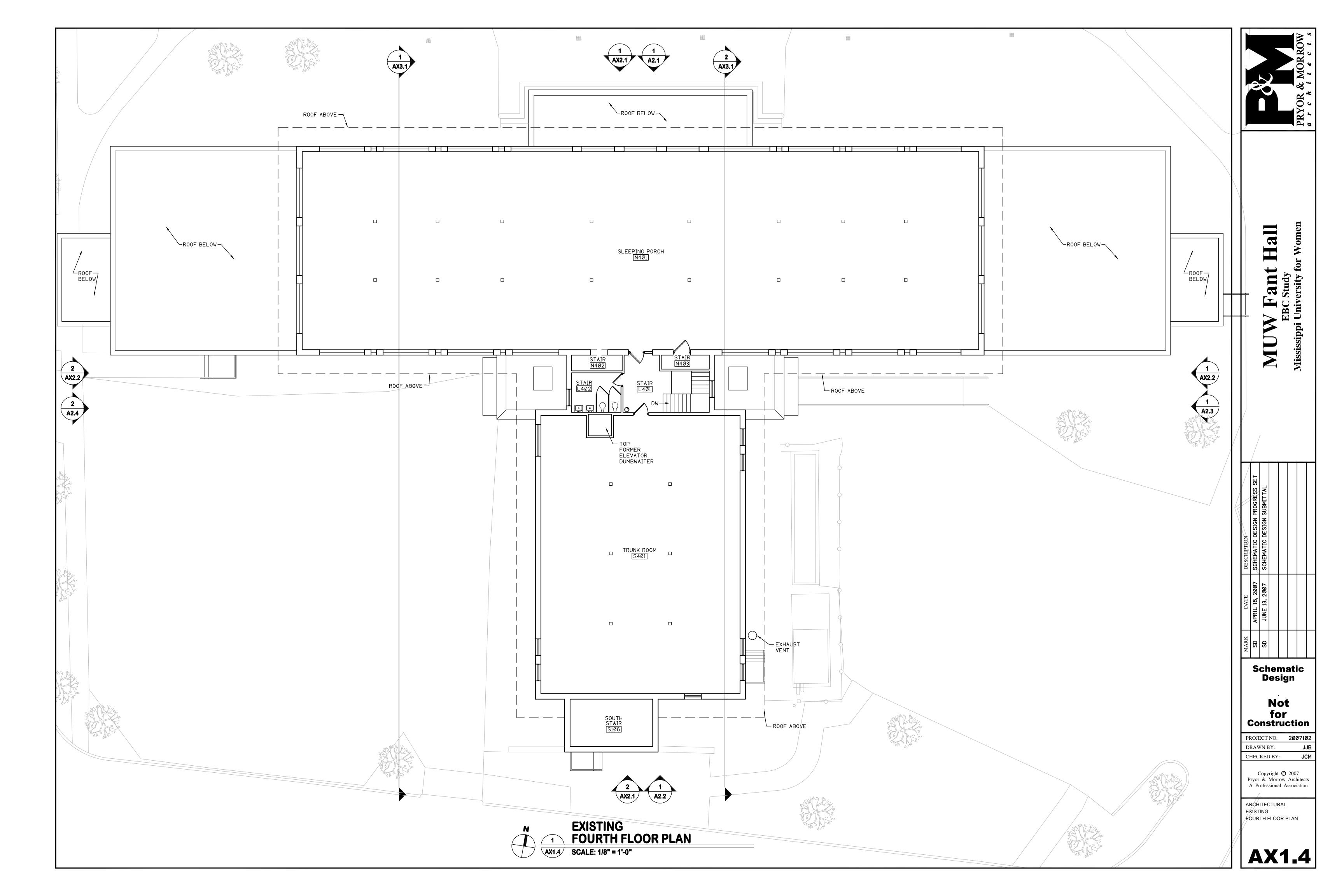
COVER SHEET

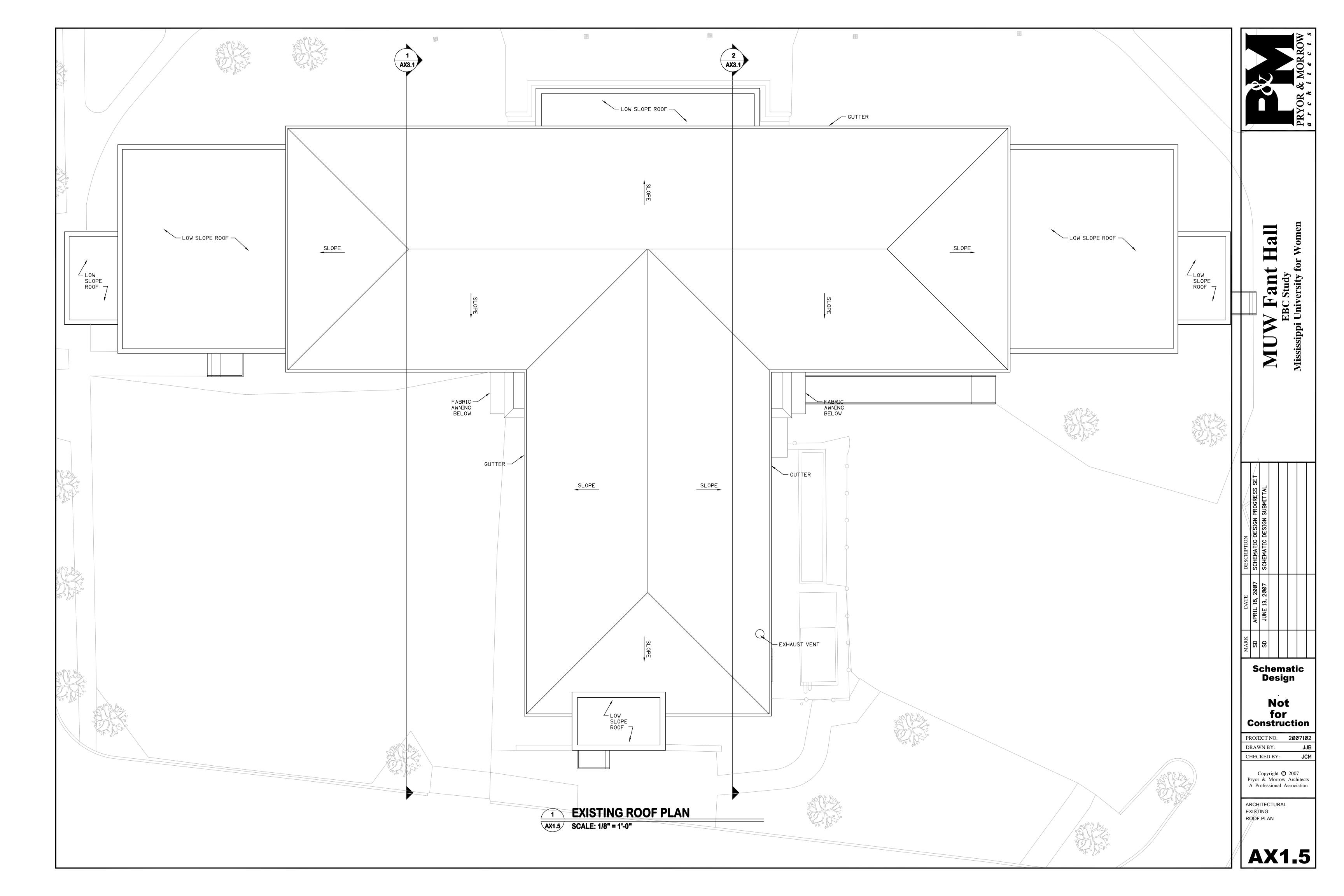


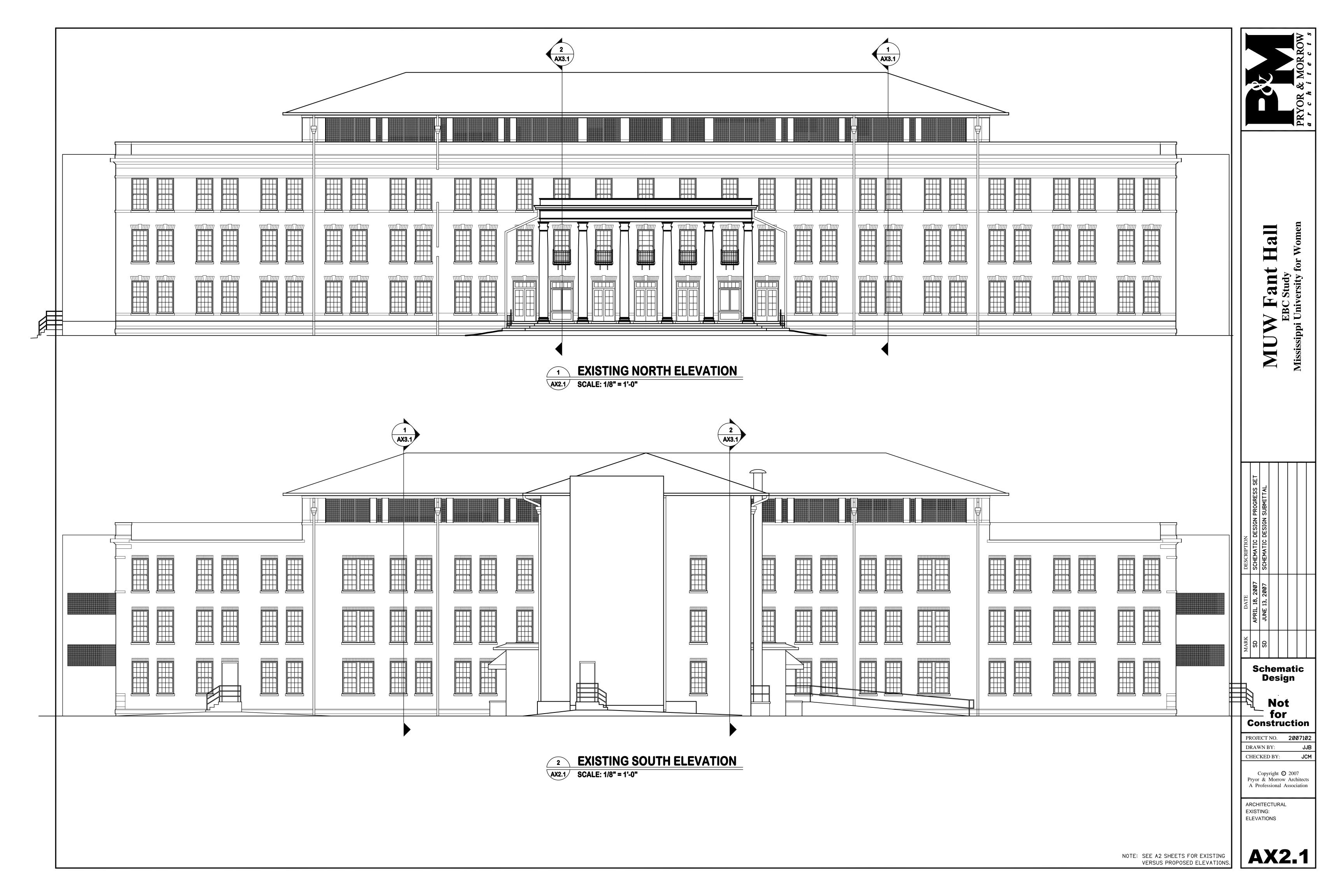














## 1 EXISTING WEST ELEVATION AX2.2 SCALE: 1/8" = 1'-0"



2 EXISTING EAST ELEVATION

AX2.2 SCALE: 1/8" = 1'-0"

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MISSISSIPPI Hall
EBC Study
Mississippi University for Women

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Schematic Design

Not for Construction

PROJECT NO. 2007102

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ARCHITECTURAL EXISTING: ELEVATIONS

**AX2.2** 





2 EXISTING BUILDING SECTION

AX3.1 SCALE: 1/8" = 1'-0"

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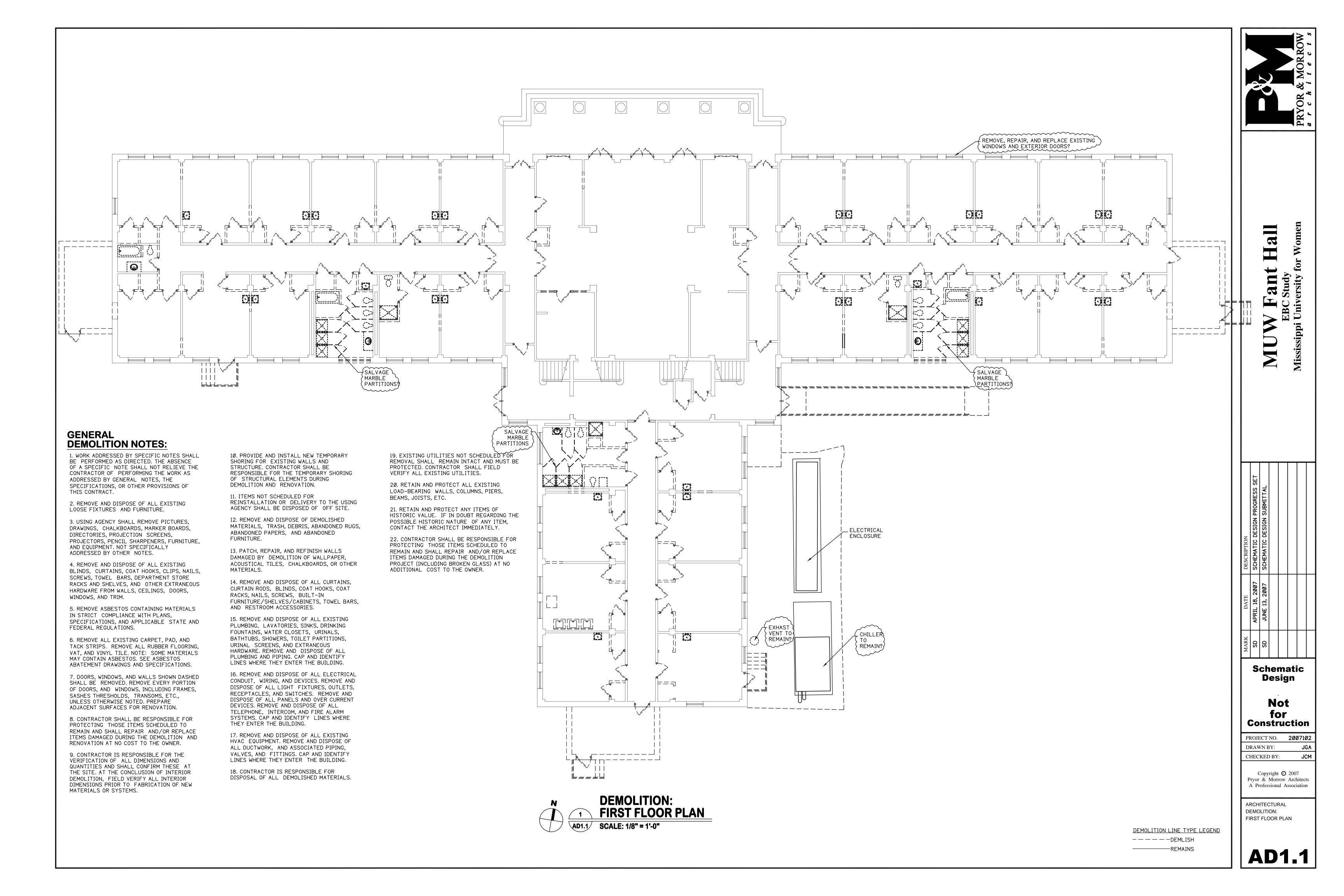
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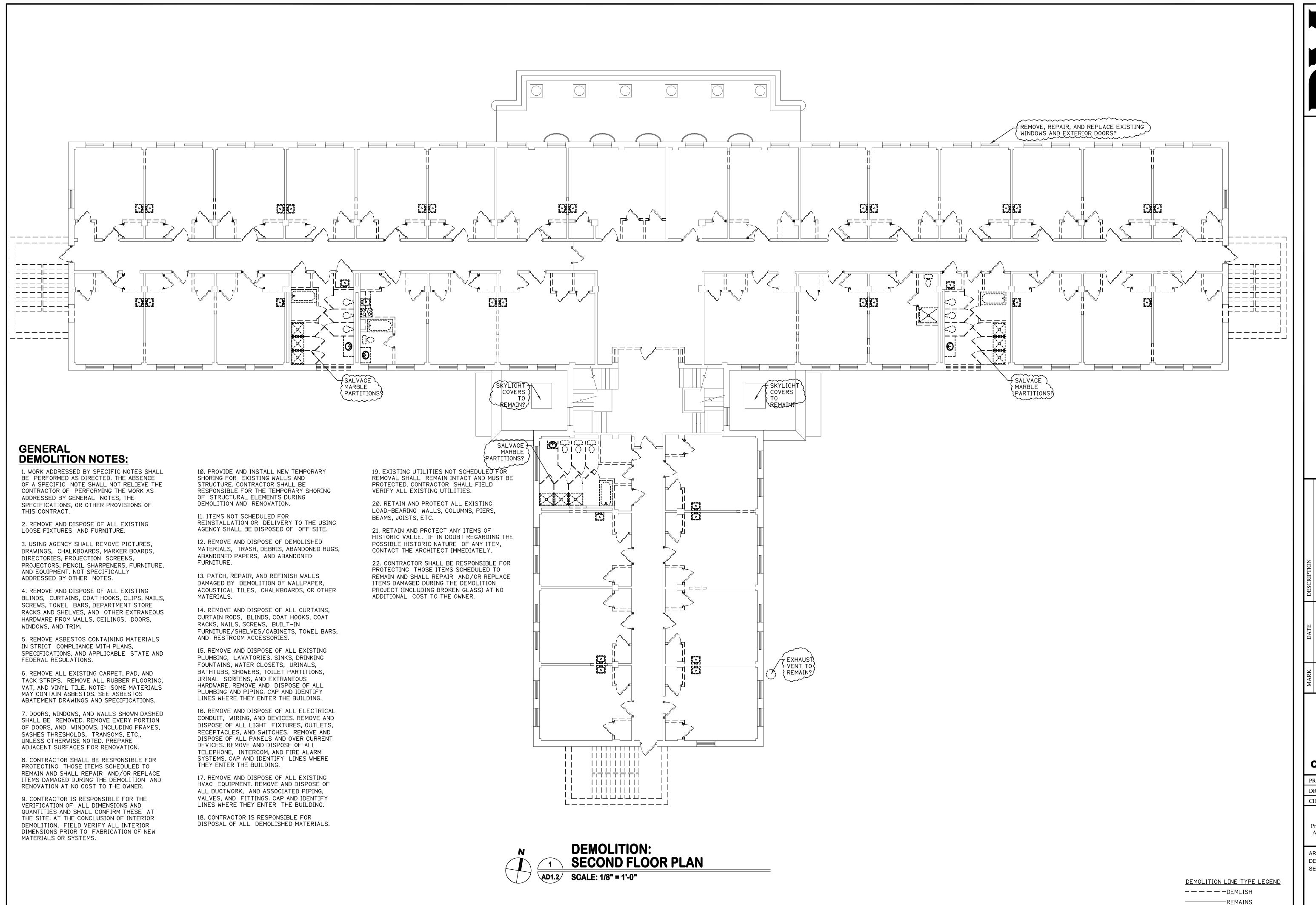
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EXISTING:
BUILDING SECTIONS

**AX3.1** 





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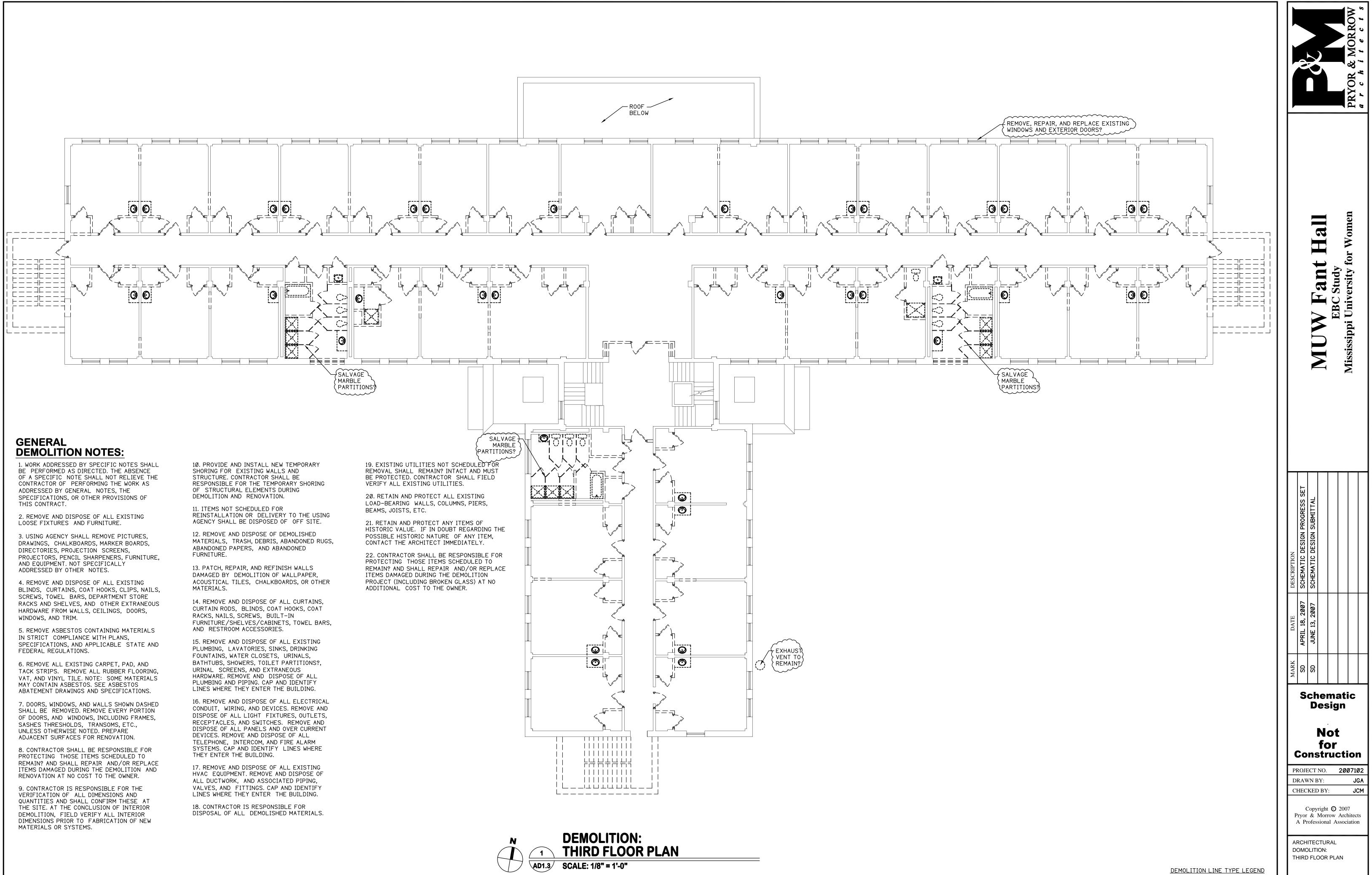
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ARCHITECTURAL
DEMOLITION:
SECOND FLOOR PLAN

**AD1.2** 



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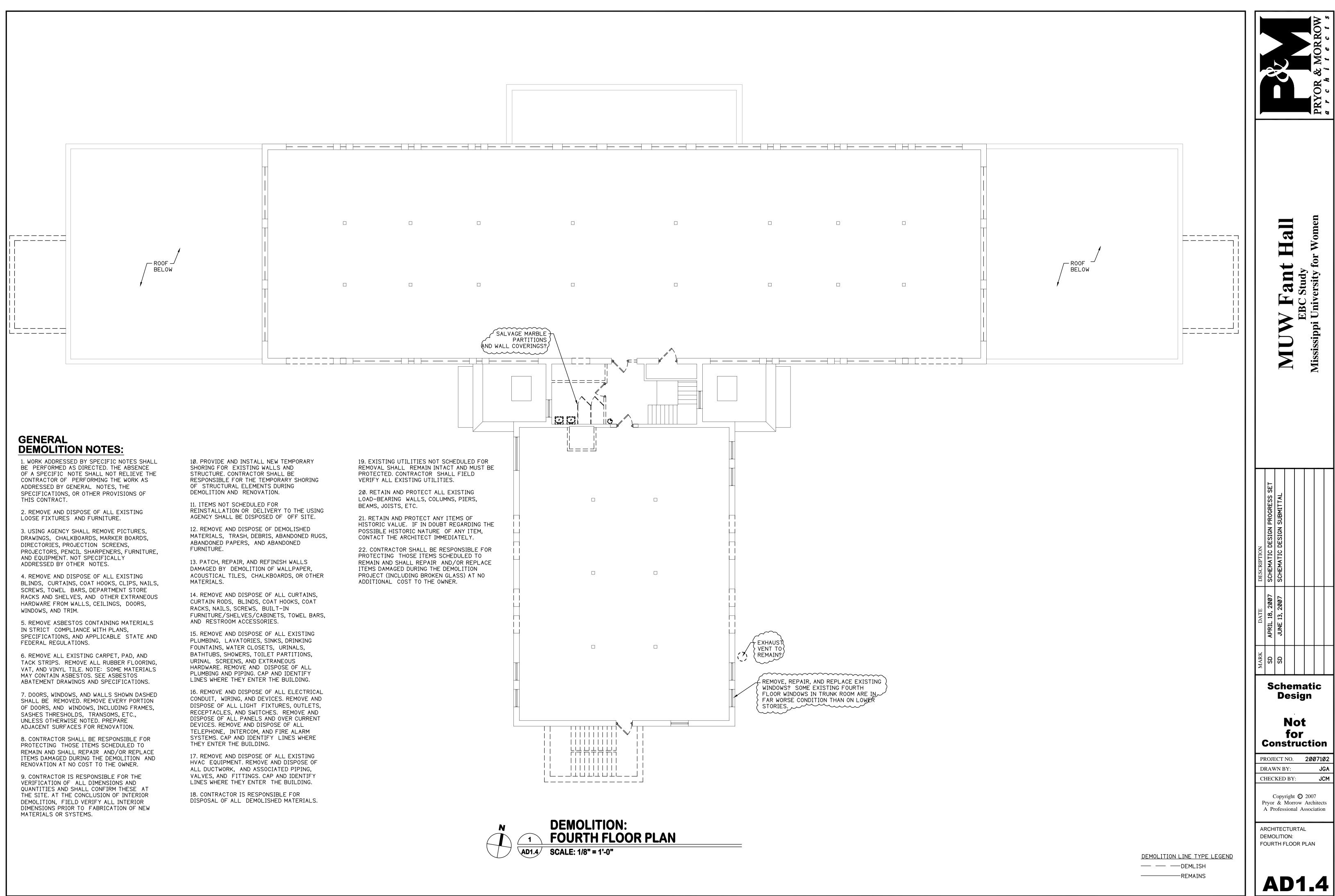
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ARCHITECTURAL DOMOLITION: THIRD FLOOR PLAN

---------REMAIN?S

**AD1.3** 



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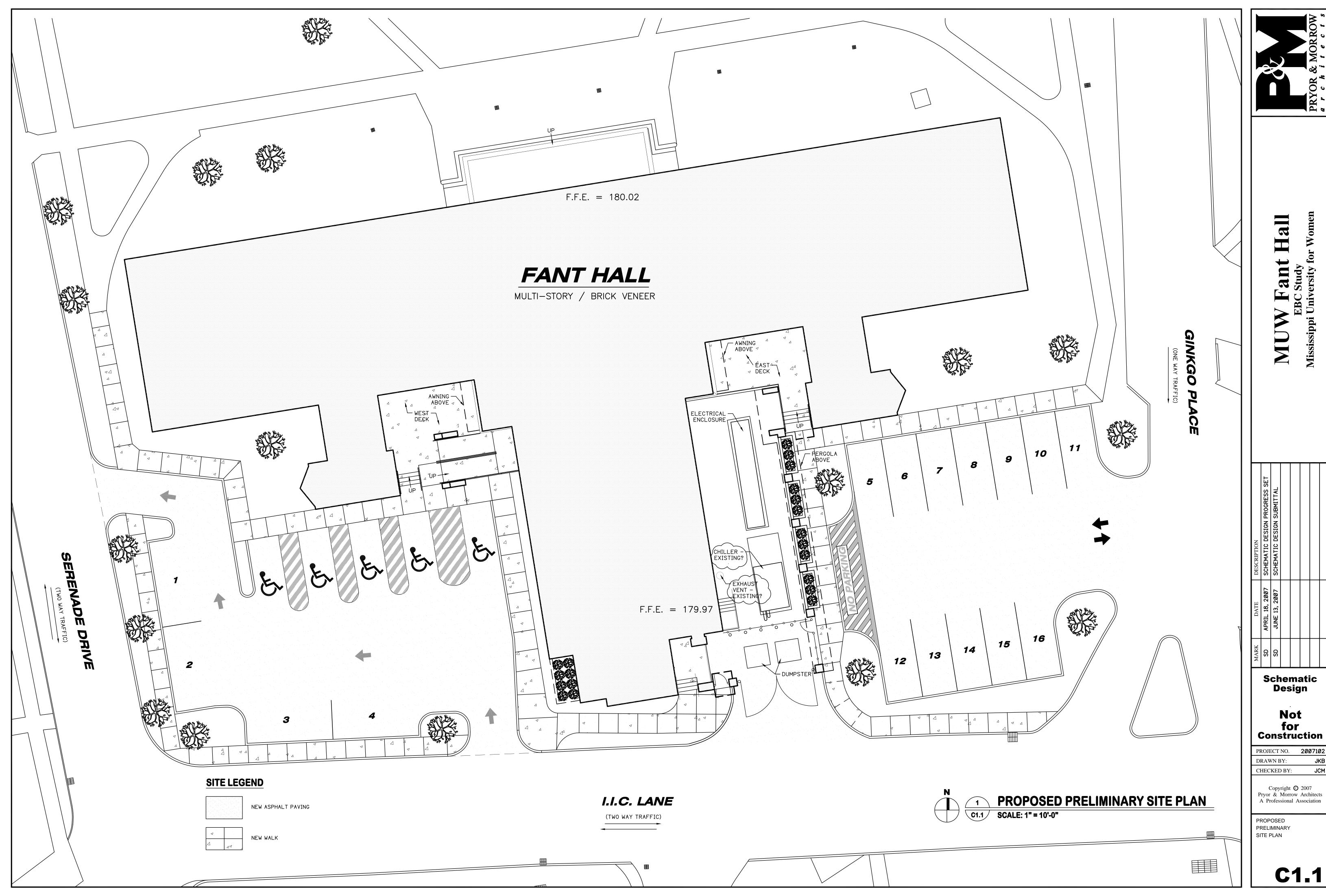
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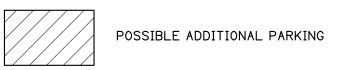
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ARCHITECTURTAL DEMOLITION: FOURTH FLOOR PLAN



SITE LEGEND







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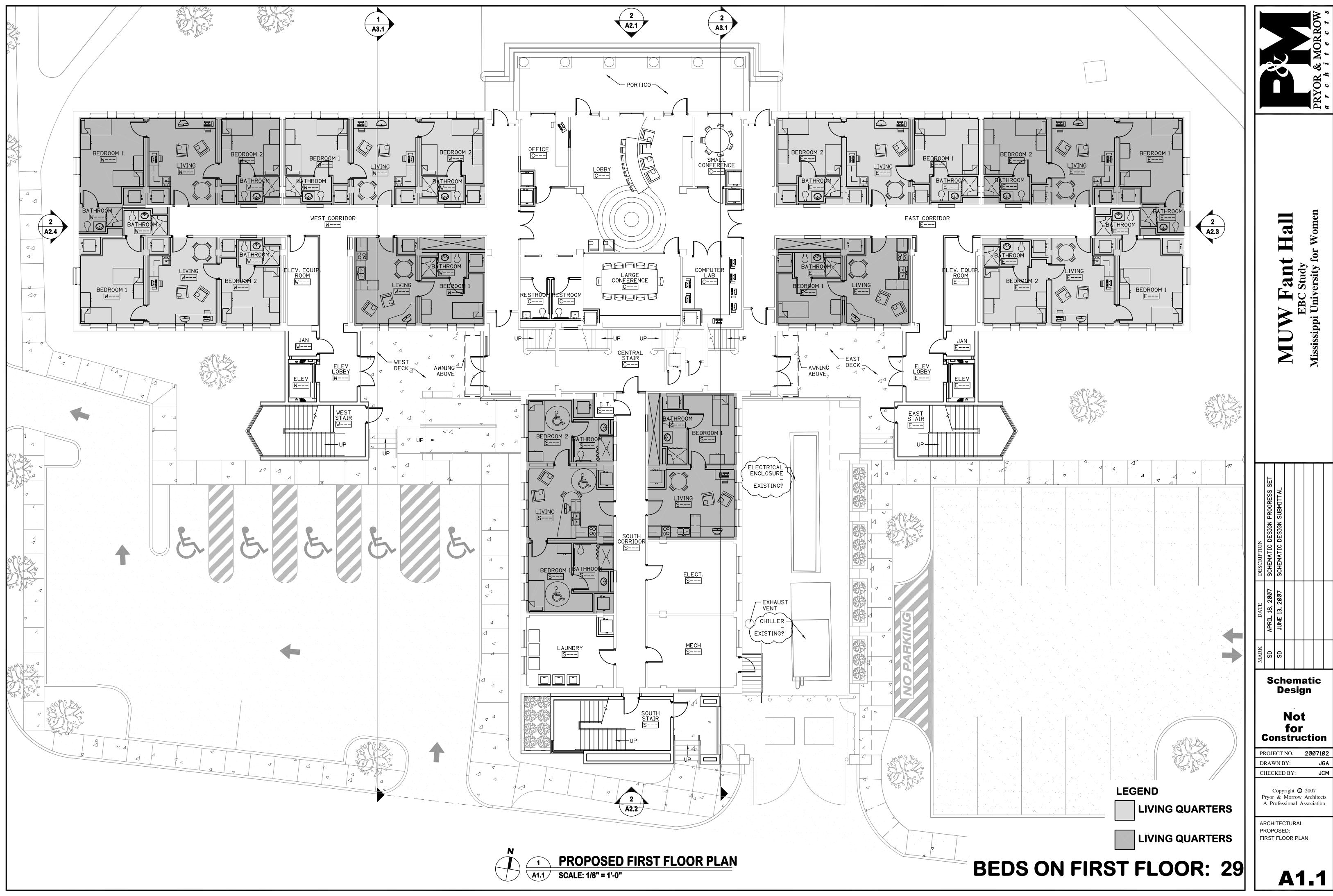
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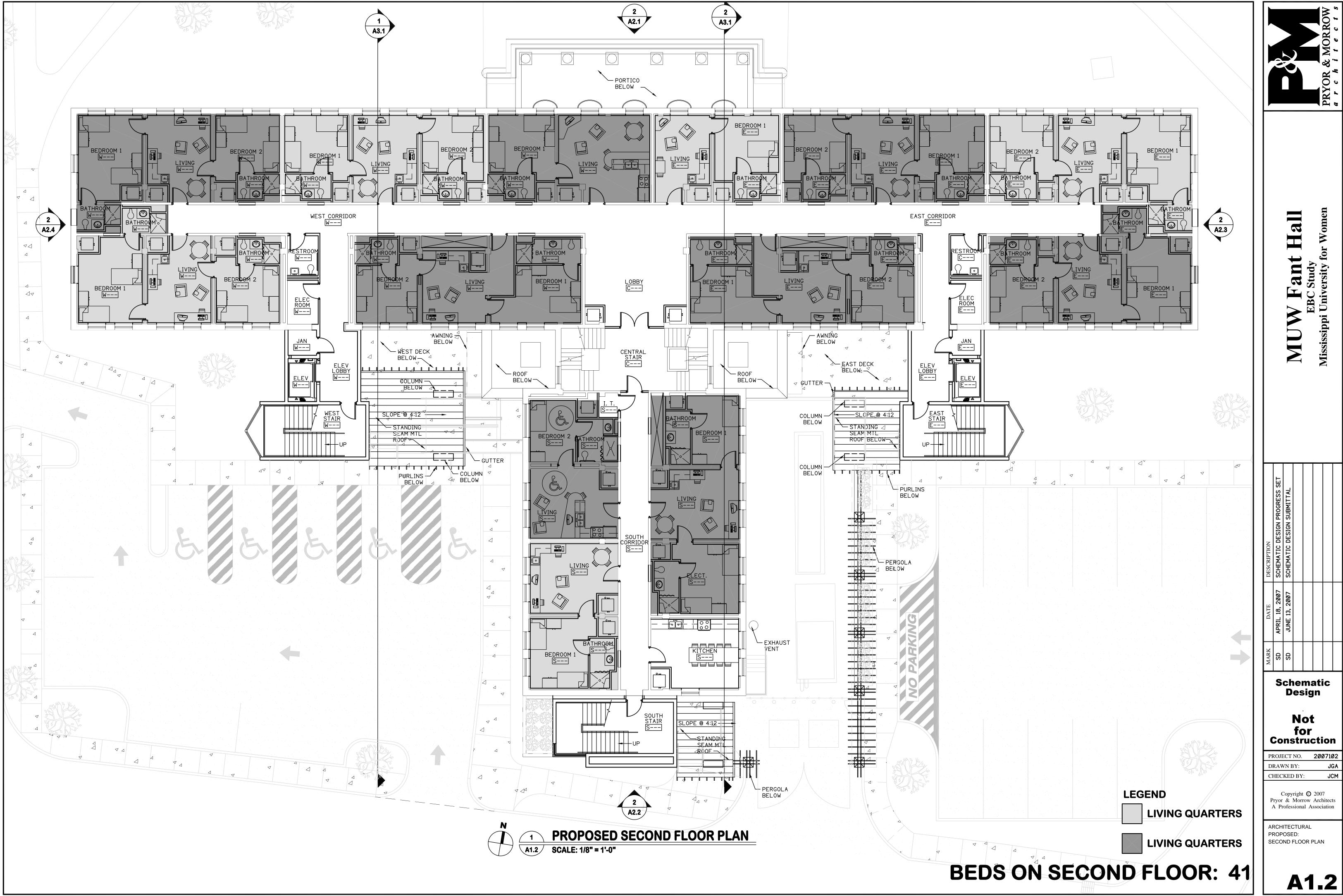
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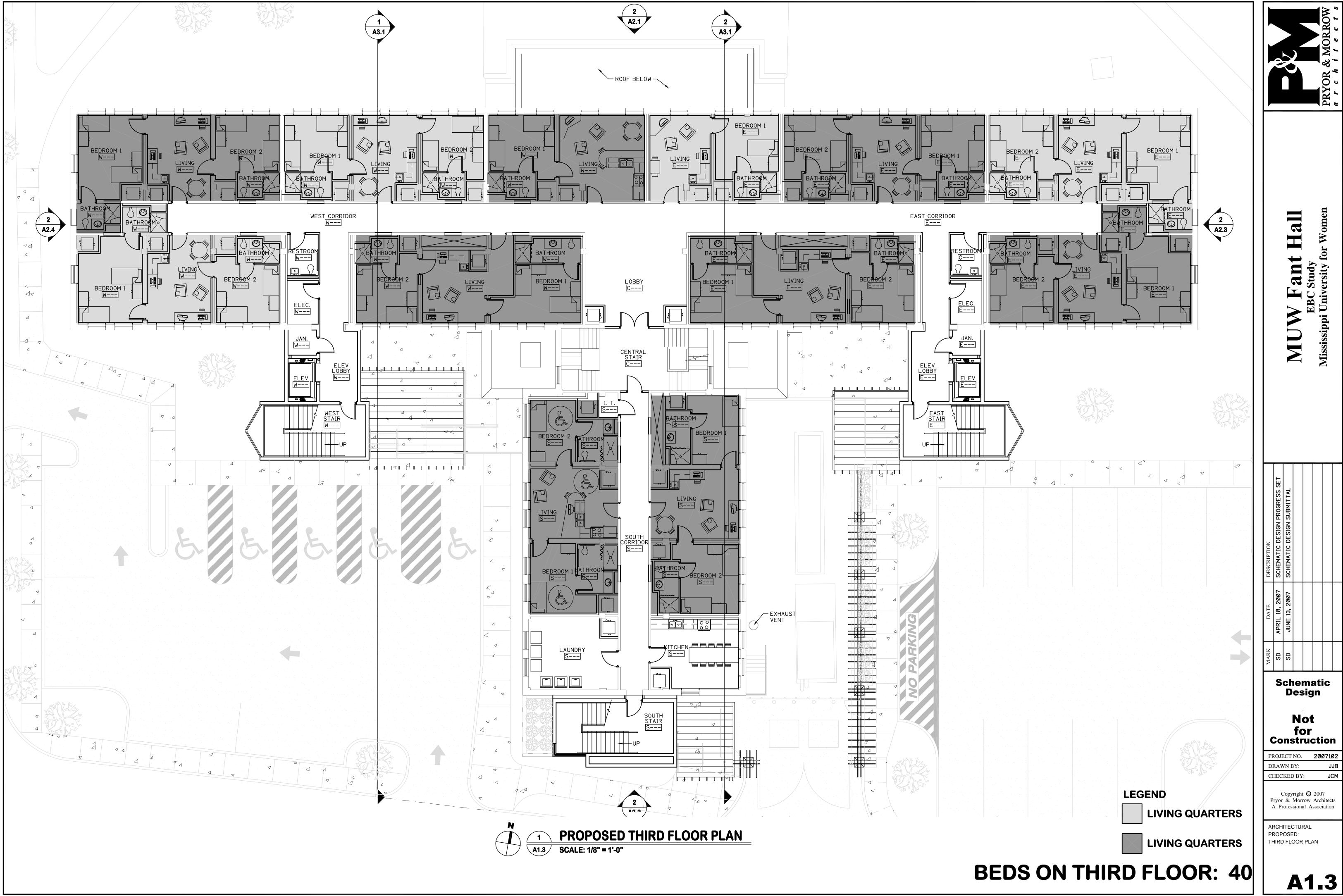
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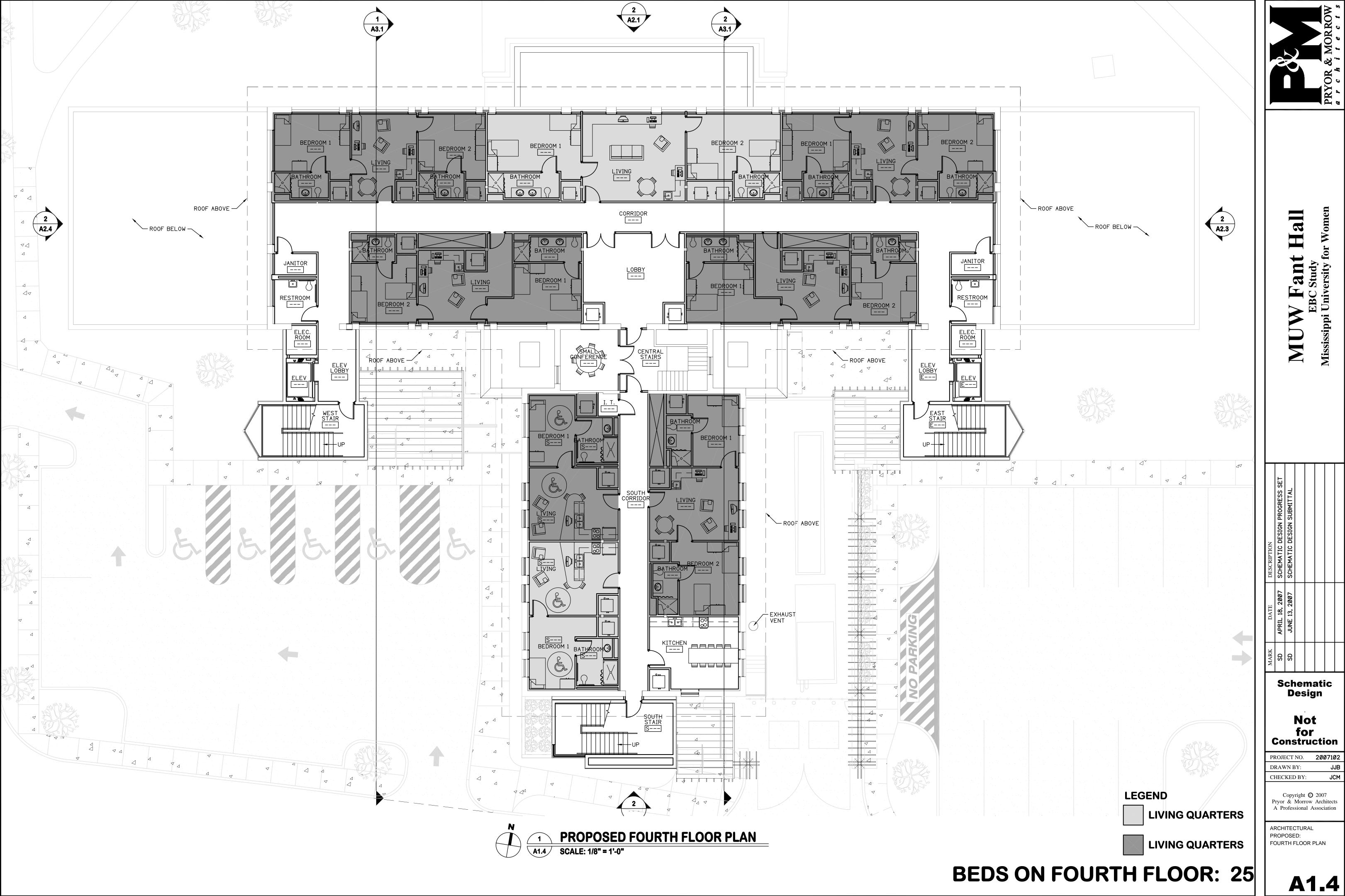
PROPOSED ADDITIONAL PARKING



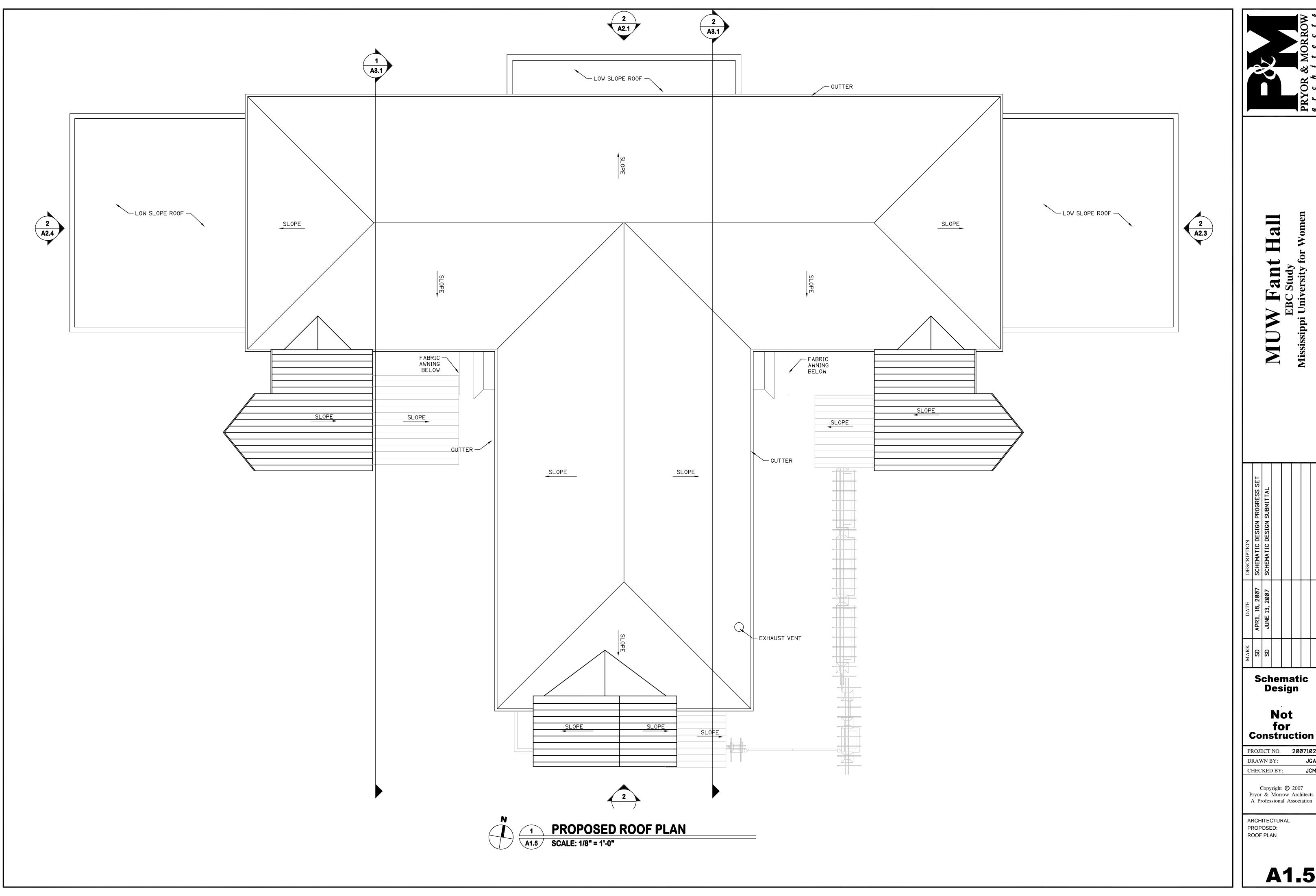


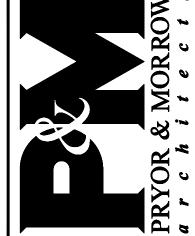
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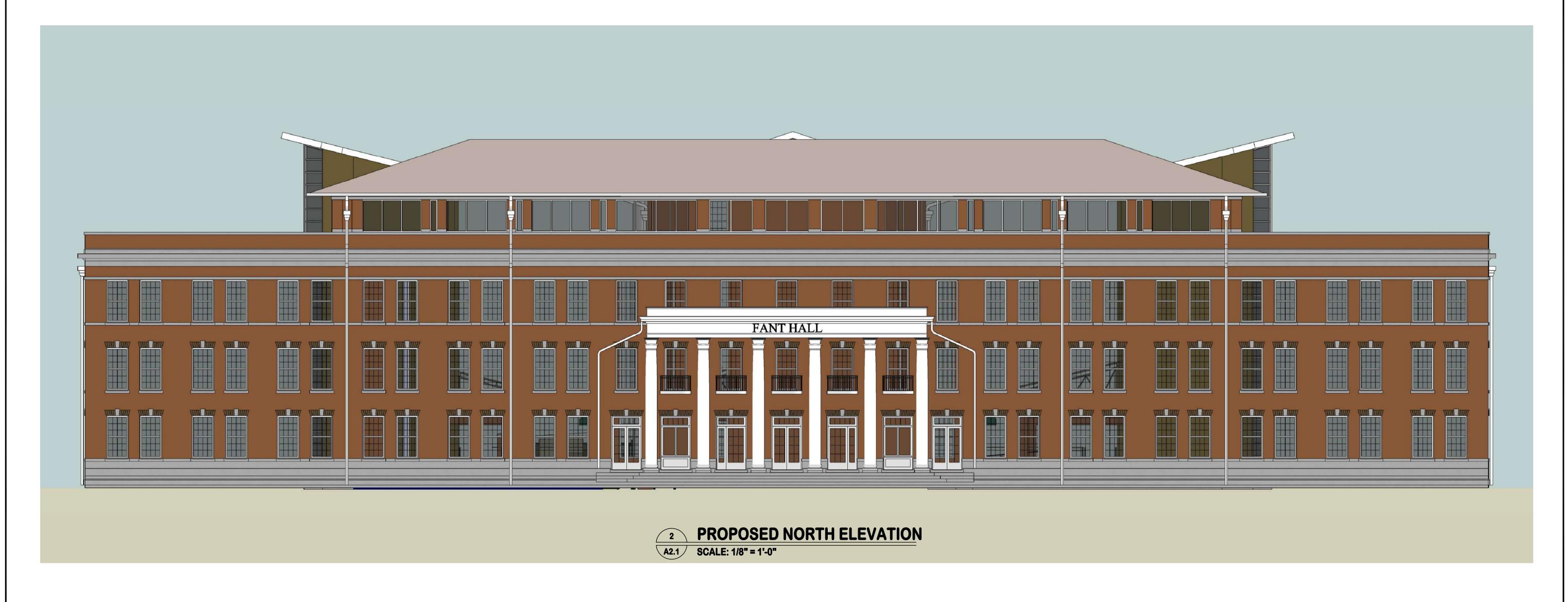
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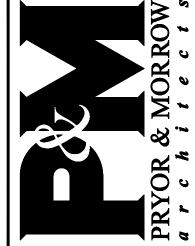




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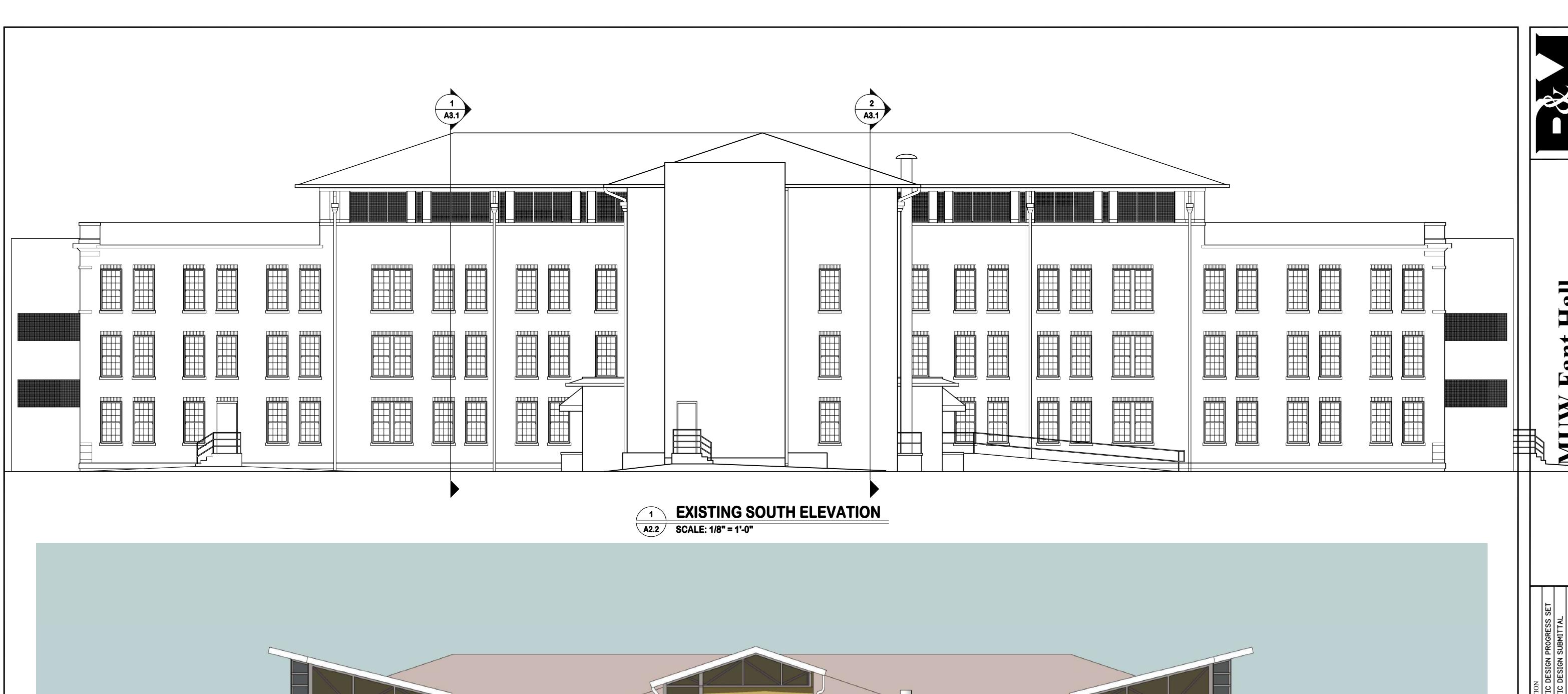
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EXISTING VERSUS
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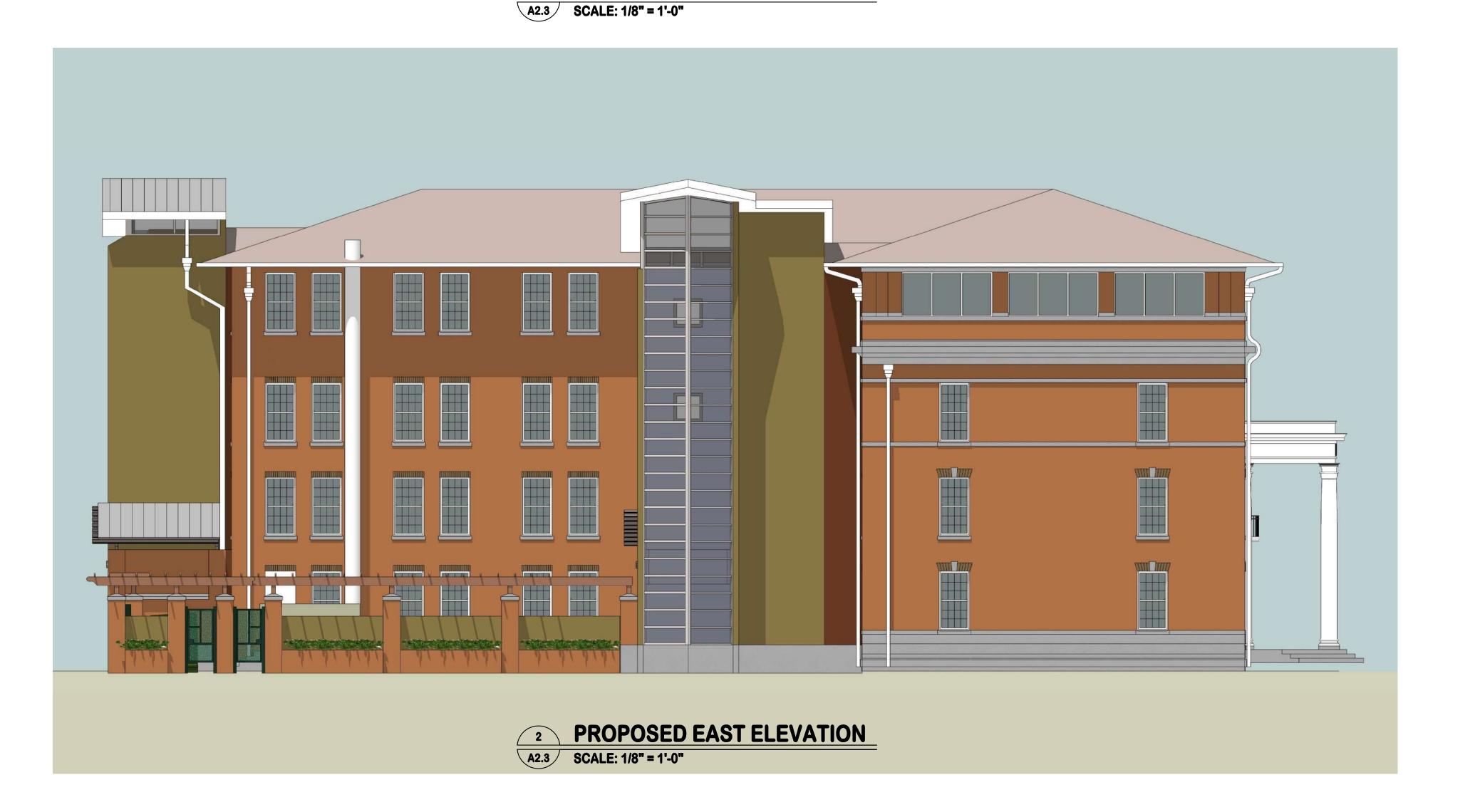
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### **EXISTING EAST ELEVATION**





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### 1 EXISTING WEST ELEVATION



Mississippi University for Women

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3 PERSPECTIVE RENDERING FROM NORTHEAST



PERSPECTIVE RENDERING FROM SOUTHEAST



PERSPECTIVE RENDERING FROM NORTHWEST
A2.5



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ARCHITECTURAL PROPOSED PERSPECTIVE RENDERINGS

Δ2-5





PERSPECTIVE RENDERING OF SOUTHWEST ENTRANCE



PERSPECTIVE RENDERING FROM NORTH



PERSPECTIVE RENDERING OF SOUTHWEST ENTRANCE



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ARCHITECTURAL PROPOSED PERSPECTIVE RENDERINGS

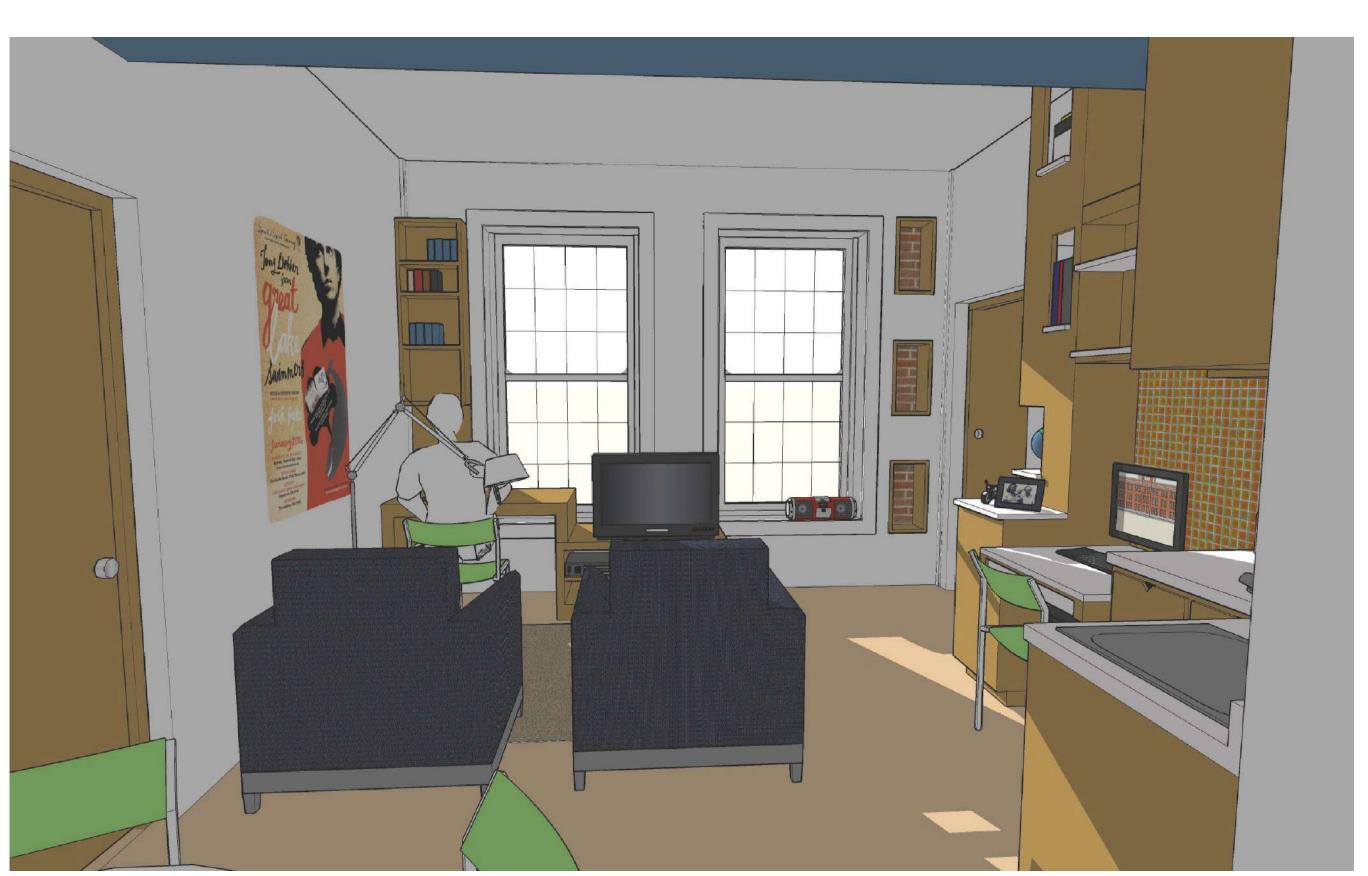




PERSPECTIVE RENDERING: TYPICAL LIVING AREA



PERSPECTIVE RENDERING: TYPICAL BEDROOM



PERSPECTIVE RENDERING: TYPICAL LIVING AREA



MISSISSINDI UNIVERSITATION EBC Study

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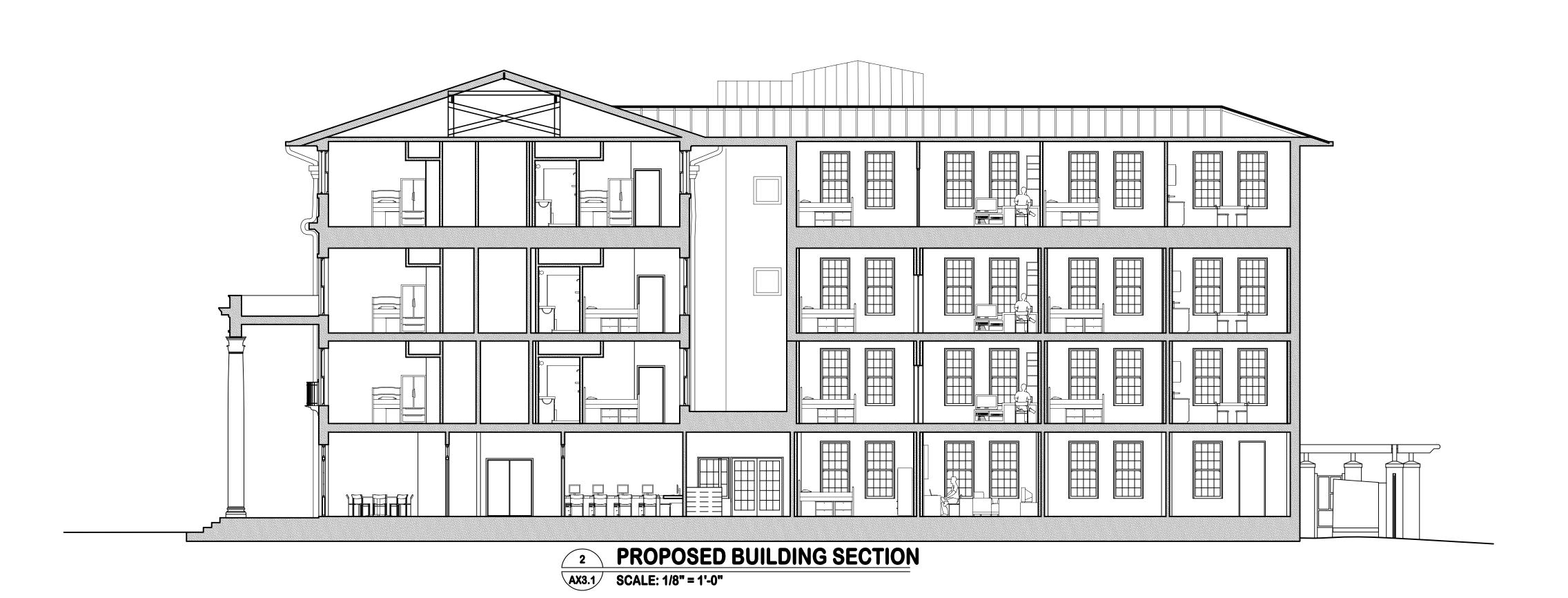
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